



Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

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Property Information

Project Address: 1112 W. 7th	Tax Parcel ID: 106945
Legal Description: Lot 19 BKA OLT 2 Div 2 Raymond Subd	
Zoning District: SF3	Lot Area (sq ft): 8532
Neighborhood Plan Area (if applicable): OLD WEST AUSTIN	Historic District (if applicable): Old West Austin

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="radio"/> N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <input checked="" type="radio"/> N (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input checked="" type="radio"/> N (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input checked="" type="radio"/> N (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input checked="" type="radio"/> N (If yes, Fire review is required)	Is this property within 200 feet of a hazardous pipeline? Y <input checked="" type="radio"/> N (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input checked="" type="radio"/> N (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <input checked="" type="radio"/> N (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? Y <input checked="" type="radio"/> N (If yes, click here for more information on the tree permit process.)	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input checked="" type="radio"/> Y <input type="radio"/> N	
Does this site currently have: water availability? <input checked="" type="radio"/> Y <input type="radio"/> N (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.) wastewater availability? <input checked="" type="radio"/> Y <input type="radio"/> N	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input checked="" type="radio"/> N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input checked="" type="radio"/> N (If yes, submit approved auxiliary and potable plumbing plans.) (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? <input checked="" type="radio"/> N (If yes, contact the Development Assistance Center for more information)	
Is this site within the Waterfront Overlay? Y <input checked="" type="radio"/> N (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input checked="" type="radio"/> N (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input checked="" type="radio"/> Y <input type="radio"/> N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? <input checked="" type="radio"/> Y <input type="radio"/> N (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="radio"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="radio"/> N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y <input checked="" type="radio"/> N (If yes, construction material recycling is required per LDC 25-11-39)	
Existing Use: vacant <input checked="" type="radio"/> single-family residential	duplex residential two-family residential other: _____
Proposed Use: vacant <input checked="" type="radio"/> single-family residential	duplex residential two-family residential other: _____
Project Type: new construction addition <input checked="" type="radio"/> addition/remodel other: _____	
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input checked="" type="radio"/> Y <input type="radio"/> N Demo App Attached	
# existing bedrooms: 3	# bedrooms upon completion: 5
# baths existing: 1	# baths upon completion: 4 1/2
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) Demo of addition at back; remodel of entire first floor; addition of new two stories @ back; attic conversion to conditioned space; relocate wood shed for new carport	
Trades Permits Required (Circle as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)	

Job Valuation		
Total Job Valuation: \$ <u>800,000.00</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>200,000.00</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ <u>480,000</u> Elec: \$ <u>45,000</u> Plmbg: \$ <u>45,000</u> Mech: \$ <u>30,000</u> TOTAL: \$ <u>600,000.00</u>
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ <u>200,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
	Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1504		343		1847 0.00	0.00
b) 2 nd Floor conditioned area	0		1548		1548 0.00	0.00
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement	0		1517		1517 0.00	0.00
e) Covered parking (garage or carport)	0		258		258 0.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	422		150		572 0.00	0.00
g) Other covered or roofed area	683		-683		0.00	0.00
h) Uncovered wood decks	152.5		-152.5		0.00	0.00
Total Building Area (total a through h)	0.00	0.00	0.00	0.00	0.00	0.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	1602					

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Total Building Coverage (sq ft): 2646 % of lot size: 30%

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)

Total Impervious Cover (sq ft): 3649 % of lot size: 41.7%

Setbacks

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) ☒ Y ☐ N
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) ☒ Y ☐ N
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) ☒ Y ☐ N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)

Building Height: 32 ft 6 1/2 in Number of Floors: 1 1/2

Parking (LDC 25-6 Appendix A & 25-6-478)

of spaces required: 2 # of spaces provided: 2

Right-of-Way Information

Is a sidewalk required for the proposed construction? (LDC 25-6-353) ☐ Y ☒ N
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? ☒ Y ☐ N

Width of approach (measured at property line): 18 ft Distance from intersection (for corner lots only): NA ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? ☐ Y ☒ N
(If yes, drainage review is required)

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1504	343			1847 0.00
2 nd Floor	0	1548			1548 0.00
3 rd Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)		541	<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	541	0.00
Basement		1517	Must follow article 3.3.3B, see note below	1517	0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached	258	<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 1)	258	0.00
Accessory Building(s) (detached)	547	-547			0.00
Totals	2051 0.00	3660 0.00			3395 0.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) ~~0.00~~ 3395

(Total Gross Floor Area ÷ Lot Area) x 100 = 38.8 % Floor-To-Area Ratio (FAR) Article 2, 2.6 E, 2.1

Is a sidewall articulation required for this project? Y (N) overhang on west side.
(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1) see 3 on page A.7

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? (Y) N
(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.



demo small section of east wall to /
relocate existing window to there

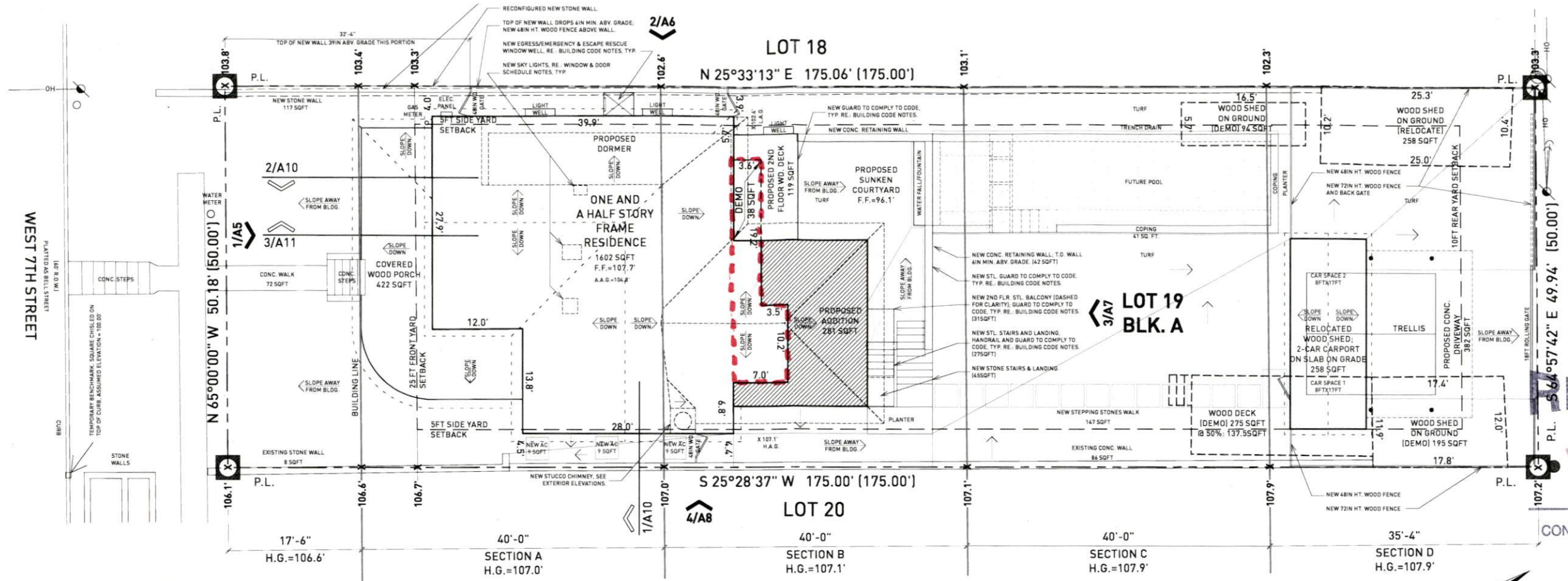
demo at roof for new dormer



Demo screened porch, master bedroom area & bath



Demo existing window : replace with salvaged window
from back of house



AE APPROVED
205-529
JUL 24 2018

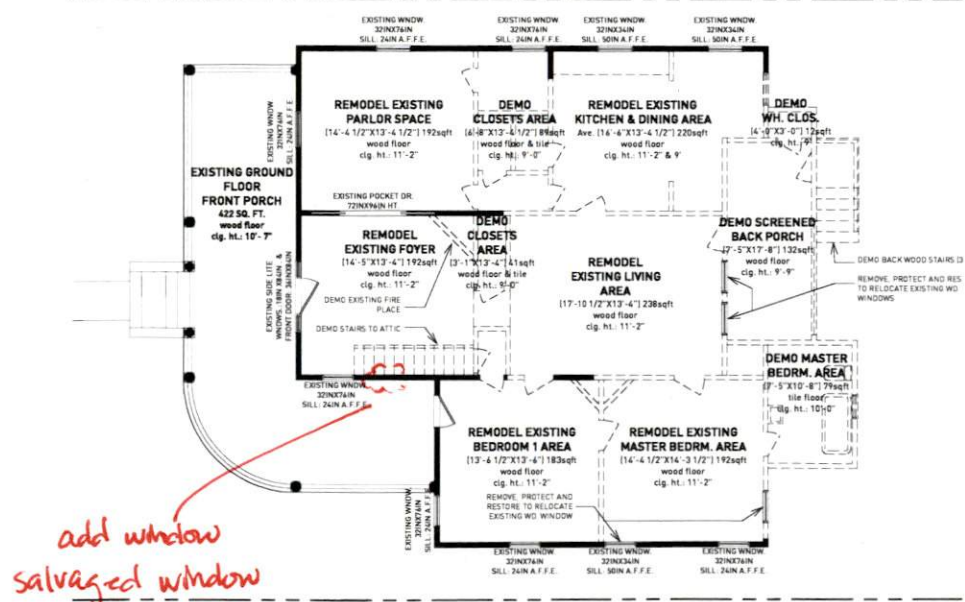
MCP

REVIEWED

APPROVED JUL 24 2018

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

1 SITE/ROOF PLAN
SCALE 1/16"=1'-0"



2 DEMOLITION PLAN
SCALE 1/8"=1'-0"

BUILDING CODE NOTES

STAIRS, HANDRAIL & GUARDRAILS SPECIFICATIONS:
STAIRWAY WIDTH, HEADROOM, TREADS, RISERS, NOSING, LANDING AND HANDRAIL SHALL BE IN COMPLIANCE WITH 2015 IRC SEC. R311.7. HANDRAIL SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS, PER 2015 IRC SEC. R311.7.8. HANDRAIL HEIGHT MEASURED FROM EDGE TO NOSING SHALL NOT BE LESS THAN 34IN OR MORE THAN 38IN HT. IN COMPLIANCE WITH 2015 IRC SEC. R311.7.8.1. GUARDRAILS HEIGHT MEASURED FROM FINISH FLOOR SHALL BE NOT LESS THAN 36IN, PER 2015 IRC SEC. R312.1.2. GUARDRAIL OPENINGS SHALL BE LESS THAN 4" DIA. SPHERE, PER IRC 2015 SEC. R312.1.3.

GLAZING IN HAZARDOUS LOCATION SPECIFICATIONS:
FOR GLAZING IN GUARDRAIL, PROVIDE TEMPERED GLASS IN GUARD IN COMPLIANCE WITH 2015 IRC SEC. R308.4.4 FOR SHOWER ENCLOSURE, PROVIDE TEMPERED GLASS FOR SHOWER ENCLOSURE. GLAZING AND WET SURFACES IN COMPLIANCE WITH 2012 IRC SEC. R308.4.5

ACCESSIBILITY SPECIFICATIONS:
PROVIDE ACCESSIBILITY REQUIREMENTS, INCLUDING BUT NOT LIMITED TO: DOOR CLEARANCE, REINFORCEMENT BLOCKING FOR FUTURE GRAB BARS IN ALL REQUIRED AREAS, IN COMPLIANCE WITH LOCAL AMENDMENTS & IRC 2015 SEC. R302.

MEANS OF EGRESS, ADDITIONAL GLAZING NOTE AND EMERGENCY ESCAPE AND RESCUE OPENING CODE NOTES FOUND UNDER WINDOW & DOOR NOTES.

PROJECT ADDRESS & LEGAL DESCRIPTION:

1112 WEST 7TH STREET, AUSTIN, TX.
LOT 19, BLOCK A, THE RAYMOND SUBDIVISION, VOL/CAB 2, PAGE 129.
PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

SYMBOLS LEGEND

- EXISTING WALL
- DEMOLITION WALL
- NEW WALL
- NEW CONC. FOUNDATION
- EXTERIOR FACADE
- BUILDING SECTION
- DOOR DESIGNATION
- WINDOW DESIGNATION

SITE PLAN LEGEND PER SURVEY

- PROPERTY LINE
- BUILDING SETBACKS
- EXISTING BUILDING LINE
- PROPOSED DEMOLITION
- PROPOSED IMPROVEMENT AREA
- EXISTING ROOF OVERHANGS
- NEW ROOF OVERHANGS
- ESMT LINE
- OVERHEAD ELEC/TELE LINE
- 1/2" IRON PIPE FOUND
- FINISHED FLOOR ELEVATION
- HIGHEST GROUND ELEV. OF SECTION NOTED
- AVERAGE ADJACENT GRADE OF EXISTING GROUND CONDITIONS ON 04/17/18 AT BUILDING CORNERS
- EXISTING GROUND ELEVATION SHOT ON 04/17/18

PROJECT INFO:

SF3 ZONING: FAMILY RESIDENCE. McMANSION ORDINANCE BOUNDARY AREA.
EXISTING STRUCTURE: ONE AND A HALF STORY, PIER AND BEAM FOUNDATION, WOOD FRAME, WOOD SIDING & ASPHALT COMPOSITION SHINGLE ROOF, 3 BEDROOM HOUSE, 1 BATH.
FRONT SET BACK: 25FT, SIDES SET BACKS: 5FT, REAR SET BACK: 10FT. BUILDING LINE: FT

PROJECT SCOPE:

DEMOLITION OF INTERIOR NON-LOAD BEARING WALL PARTITIONS. DEMOLITION OF NON-ORIGINAL 1 STORY BACK ADDITION BATH AND SCREENED PORCH. DEMOLITION OF DETACHED BACK WOOD DECK AND 2 WOOD SHEDS. REMODEL OF ALL INTERIOR GROUND FLOOR, CONVERSION OF ATTIC AREA TO NEW 2ND FLOOR AIR-CONDITIONED AREA TO INCL. 2 BEDROOMS, 2 BATHS, LAUNDRY AND FAMILY ROOM, ADDITION OF DORMER TO WEST SIDE OF EXISTING ROOF, ATTACHED BACK NEW ADDITION OF 2 STORY STRUCTURE FOR GROUND FLOOR KITCHEN AND SECOND FLOOR MASTER SUITE, BASEMENT ADDITION TO INCL. 2 BEDROOMS, 1 BATH, AND GRAND ROOM WITH KITCHENETTE AND EXTERIOR COURT YARD. RELOCATION AND CONVERSION OF EXISTING WOOD SHED TO CARPORT.

CALCULATIONS:

LOT SIZE: 8,750SQFT	MAX. 45% MAX. FAR. 40%	IMPERVIOUS COVERAGE ALLOWED: 3,937.5SQFT BUILDING COVERAGE ALLOWED: 3,500SQFT			
AREA DESCRIPTION	EXISTING	ADDITION	TOTALS	FAR APPLIED EXEMPTIONS	TOTAL FAR
1ST FLOOR AIR-CONDITIONED AREA	1504SQFT	343SQFT	1847SQFT	0	1847SQFT
2ND FLOOR AIR-CONDITIONED AREA	0	1548SQFT	1548SQFT	0	1548SQFT
BASEMENT AIR-CONDITIONED AREA	0	1517SQFT	1517SQFT	1517SQFT	0SQFT
AREA W/CEILINGS >15FT. HT.	0	0	0	0	0SQFT
COVERED PARKING: CARPORT DETACHED (2 CAR)	0	258SQFT	258SQFT	450SQFT	0SQFT
OTHER (COVERED OR ROOF AREA): GROUND FLOOR PORCH	422SQFT	119SQFT	541SQFT	541SQFT	0SQFT
OTHER -SPECIFY: SCREENED BACK PORCH & ACCESSORY BLDGS	683SQFT	-683SQFT	0	0	0SQFT
TOTAL GROSS AREA					3,395SQFT

BALCONY -SPECIFY: MASTER BEDROOM BALCONY	0	315SQFT	315SQFT
TOTAL BUILDING AREA (INCLUDES BASEMENT & 2ND FLR. AREA/EXCLUDES AREA W/CEILINGS>15FT. HT.)	2,609SQFT	3,133SQFT	5,742SQFT
TOTAL BUILDING COVER (EXCL. BASEMENT & 2ND FLR. AREA)	1,504SQFT (A)		2,646SQFT (B)
DRIVEWAY	0	382SQFT	382SQFT
SIDEWALKS	725SQFT	2195SQFT	2915SQFT
UNCOVERED WOOD & BACK WD. STAIRS (50%)	152.55SQFT	-152.55SQFT	0
AC PADS & AND OTHER CONC. FLATWORK	0	365SQFT	365SQFT
OTHER: (POOL COPING, RETAINING WALLS)	224	705SQFT	294SQFT
TOTAL IMPERVIOUS COVER	1,952.55SQFT (C)		3,649SQFT (D)
OTHERS: (POOL/SPA)	0	579SQFT	579SQFT

BUILDING COVERAGE INFORMATION
EXISTING BUILDING COVERAGE: 1,504SQFT.....17.2% OF LOT SIZE
FINAL BUILDING COVERAGE: 2,646SQFT.....30% OF LOT SIZE

IMPERVIOUS COVERAGE INFORMATION
EXISTING TOTAL IMPERVIOUS COVERAGE: 1,952.55SQFT.....22.3% OF LOT SIZE
FINAL TOTAL IMPERVIOUS COVERAGE: 3,649SQFT.....41.7% OF LOT SIZE

SUBCHAPTER F INFORMATION
TOTAL FAR: [3,395QFT/8,750SQFT]X100.....38.8% OF LOT SIZE

GENERAL NOTES

- DESIGN & CONSTRUCTION SHALL COMPLY WITH IRC 2015, 2015 IECC, 2017 NATIONAL ELECTRICAL CODE, 2015 UNIFORM PLUMBING CODE, 2015 INTERNATIONAL MECHANICAL CODE, 2015 INTERNATIONAL FIRE CODE, 2015 INTERNATIONAL FUEL GAS CODE AND THE CITY OF AUSTIN CURRENT BUILDING CODE & LOCAL AMENDMENTS. PERMITS AND INSPECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- INSTALL ALL MECHANICAL, ELECTRICAL & PLUMBING EQUIPMENT ACCORDING REQUIREMENTS OF LOCAL CURRENT ENERGY CODE: 2015 IECC.
- EVERY EFFORT HAS BEEN MADE BY THE ARCHITECT TO ENSURE LOCAL CODE COMPLIANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WORK CONFORMS WITH ALL APPLICABLE CODES, IF DISCREPANCIES ARE NOTED, NOTIFY THE ARCHITECT PRIOR TO WORK.
- REFER STRUCTURAL DRAWINGS FOR INSTRUCTIONS REGARDING PROTECTION AND REINFORCEMENT TO EXISTING STRUCTURE DURING EXCAVATION. PROTECTION OF THE EXISTING STRUCTURE IS RESPONSIBILITY OF THE GENERAL CONTRACTOR DURING EXCAVATION, ERECTION OF NEW STRUCTURE, AND THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGHLY ACQUAINTING HIMSELF WITH THE WORKING DRAWINGS, INCLUDING ALL GENERAL NOTES, M.E.P. NOTES, AND ALL OTHER NOTES PERTAINING TO ANY PARTICULAR DRAWING. NOTIFY ARCHITECT OF DISCREPANCIES.
- THE CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH THE EXISTING WORKING CONDITIONS.
- CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL DIMENSIONS, EQUIPMENT, FIXTURES, FITTINGS AND OTHERS BEFORE ORDERING MATERIAL AND PROCEEDING WITH THE WORK.
- NOTIFY THE ARCHITECT OF ANY VARIATION IN NOTED DIMENSIONS IF SUCH VARIATION IS REQUIRED FOR EQUIPMENT, FIXTURES, OR FITTINGS TO FUNCTION AS INTENDED.
- PROVIDE ALL ELECTRICAL & PLUMBING CONNECTIONS AS REQUIRED PER CODE AND MANUFACTURER FOR ALL LIGHTING/ PLUMBING FIXTURES, APPLIANCES, & OTHER EQUIPMENT.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING THE WORK.
- FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- MINIMUM CLEARANCE DIMENSIONS INDICATED SHALL BE MAINTAINED.
- NEW EXTERIOR WALLS SHALL BE WOOD STUD GRADE 2 X 4 NO. 2 SYP AT 16" ON CENTER WITH 1/2" PLYWOOD SHEATHING ON THE OUTSIDE FACE AND 1/2" GYPSUM BOARD SHEATHING ON THE INSIDE FACE, UNLESS NOTED OTHERWISE.
- NEW INTERIOR WALLS SHALL BE WOOD STUD GRADE 2 X 4 NO. 2 SYP AT 16" ON CENTER WITH 1/2" GYPSUM BOARD SHEATHING ON BOTH SIDES, UNLESS NOTED OTHERWISE.
- PROVIDE R19 MIN. VALUE INSULATION IN ALL NEW ADDITION EXTERIOR WALLS. PROVIDE R15 MIN. VALUE INSULATION IN ALL EXISTING EXTERIOR WALL. PROVIDE R38 MIN. VALUE BATT INSULATION THROUGHOUT ROOF. PROVIDE R13 MIN. VALUE INSULATION IN FLOORS.
- PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
- CONCEAL ALL PIPING AND DUCTWORK IN WALLS AND CEILINGS.
- PROVIDE ALARM ALL PATIO DOORS THAT ENTER ONTO BACK DECK OR ANY DOOR THAT LEADS FROM HOUSE TO FENCED POOL IN AREA WHERE APPLICABLE, PER POOL REQUIREMENTS IN 2015 IRC.
- CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF WORK.

DIXON Residence
REMODEL/ADDITION
1112 7TH Street, Austin TX.

WoodEye
Construction and Design
1104 W Koenig Lane
Austin, Texas 78756

HISTORICAL REVIEW
07.22.2018

A1
SITE/ROOF PLAN
DEMOLITION PLAN
LEGENDS
PROJECT INFO./SCOPE
CALCULATIONS
GENERAL NOTES
BUILDING CODE NOTES

RESTORATION NOTES

PROTECT AND RESTORE AS REQUIRED, MATCH WHERE IRREPARABLE, ALL EXTERIOR EXISTING ORIGINAL ELEMENTS TO REMAIN SUCH, BUT NOT LIMITED TO: CORNICE, COLUMNS, BALUSTRADE, WINDOW AND DOOR TRIMS & SCREENS, SIDING, WOOD DECKING AND HARDWARE.

EXISTING WINDOWS AND DOORS TO REMAIN AND/OR RELOCATE; PROTECT AND RESTORE AS REQUIRED. LABELED IN EXTERIOR ELEVATIONS AS "EXST WNDW" & "EXST DR"



1 EXTERIOR ELEVATION - FRONT
SCALE 1/8"=1'-0"

DIXON Residence
REMODEL/ADDITION
1112 7TH Street, Austin TX.

WoodEye
Construction and Design

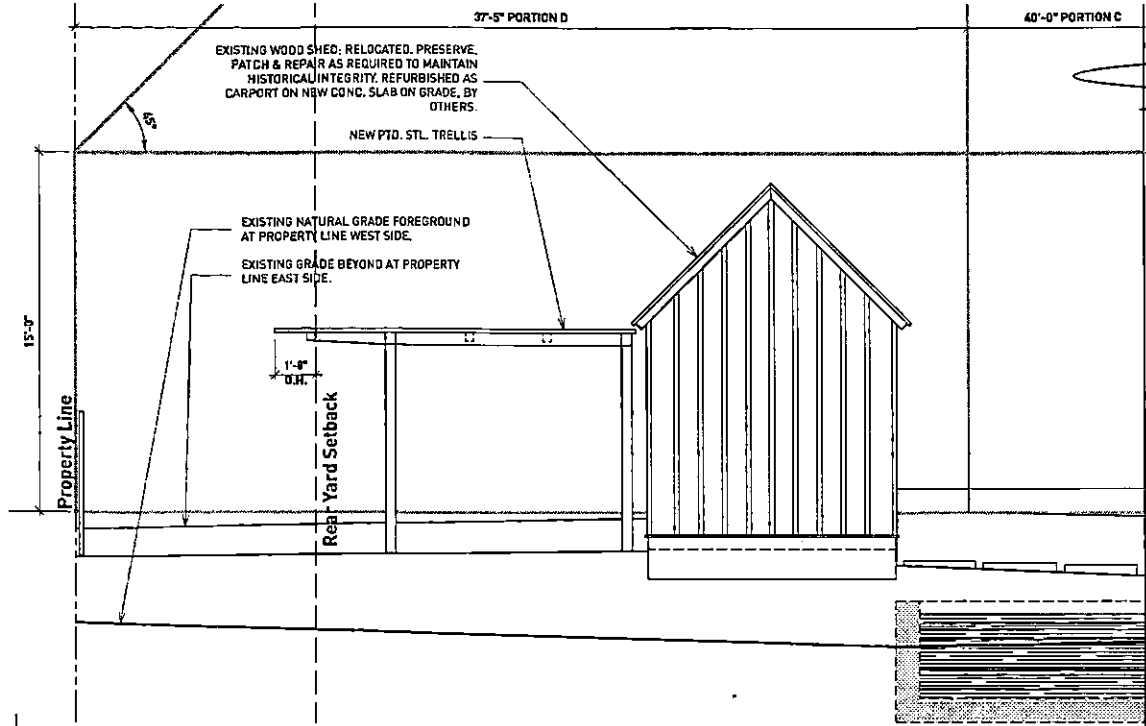
1106 W. Koenig Lane
Austin, Texas 78756

07/22/2018



HISTORICAL REVIEW
07.22.2018

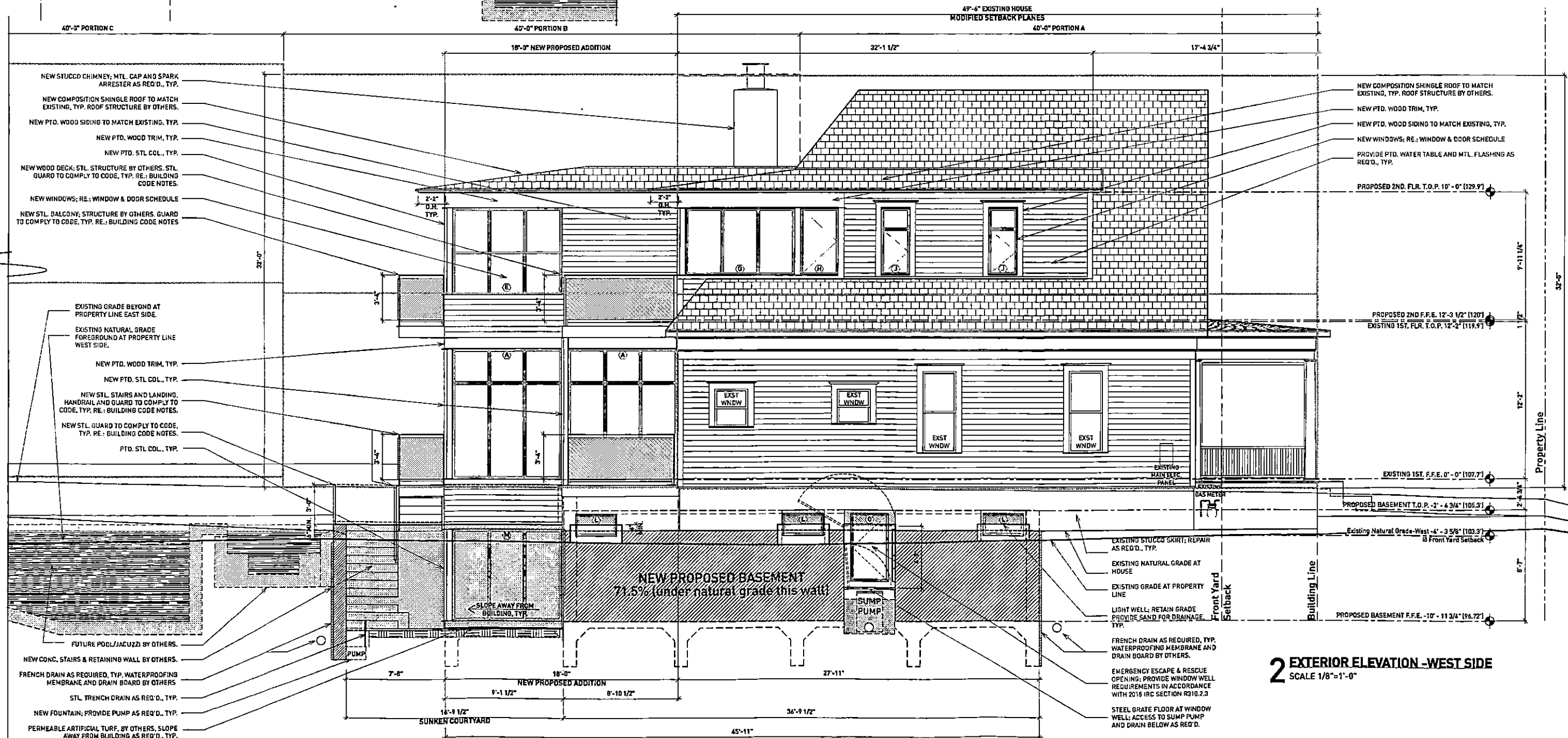
A5
EXTERIOR ELEVATIONS



RESTORATION NOTES

PROTECT AND RESTORE AS REQUIRED, MATCH WHERE IRREPARABLE, ALL EXTERIOR EXISTING ORIGINAL ELEMENTS TO REMAIN SUCH, BUT NOT LIMITED TO: CORNICE, COLUMNS, BALUSTRADE, WINDOW AND DOOR TRIMS & SCREENS, SIDING, WOOD DECKING AND HARDWARE.

EXISTING WINDOWS AND DOORS TO REMAIN AND/OR RELOCATE; PROTECT AND RESTORE AS REQUIRED. LABELED IN EXTERIOR ELEVATIONS AS "EXST WNDW" & "EXST DR"

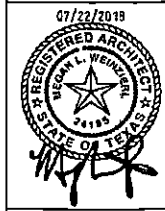


2 EXTERIOR ELEVATION - WEST SIDE
SCALE 1/8"=1'-0"

DIXON Residence
REMODEL/ADDITION
1112 7TH Street, Austin TX.

WoodEye
Construction and Design

1104 W. Koenig Lane
Austin, Texas 78756



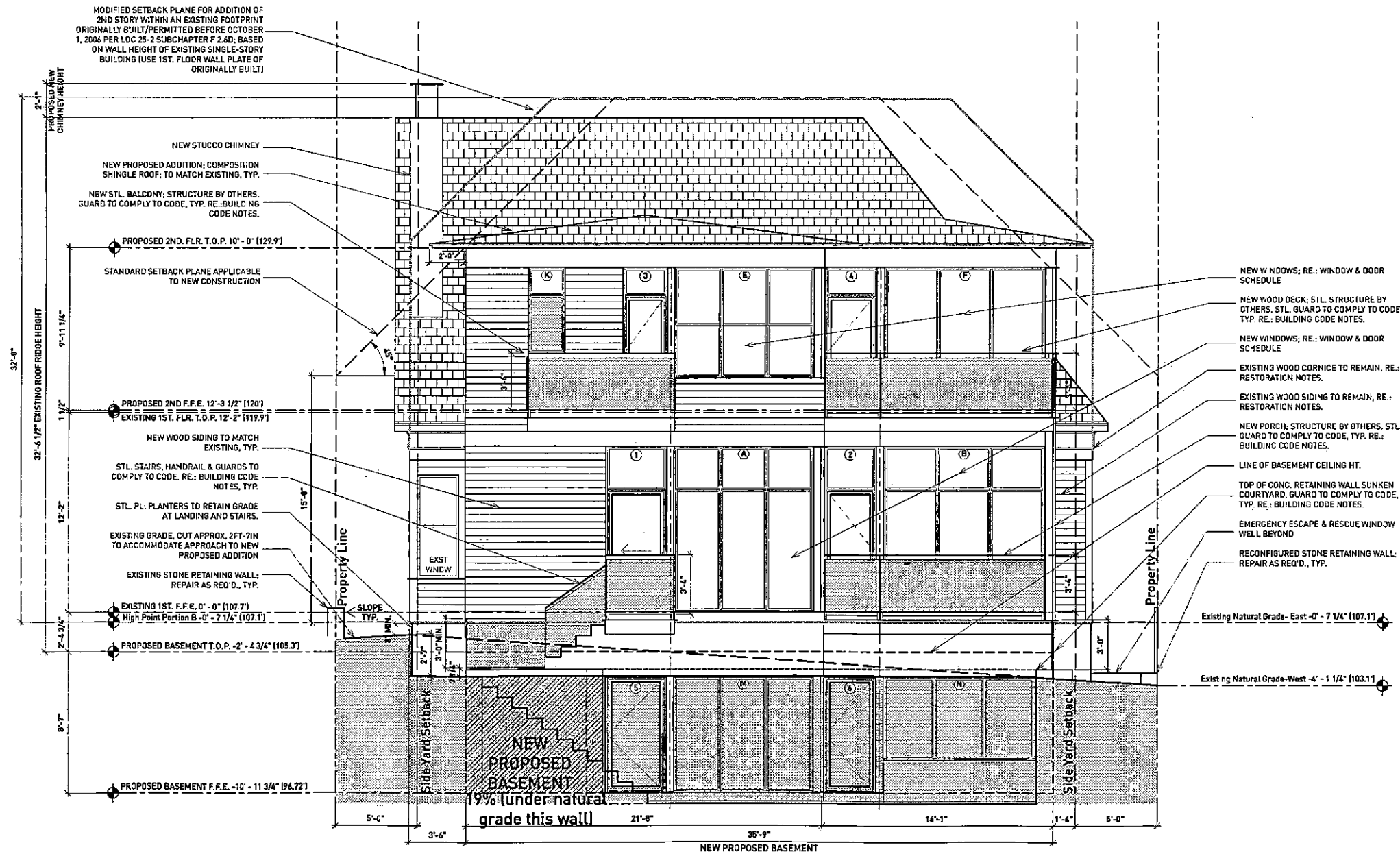
HISTORICAL REVIEW
07.22.2018

A6
EXTERIOR ELEVATIONS

RESTORATION NOTES

PROTECT AND RESTORE AS REQUIRED, MATCH WHERE IRREPARABLE, ALL EXTERIOR EXISTING ORIGINAL ELEMENTS TO REMAIN SUCH, BUT NOT LIMITED TO: CORNICE, COLUMNS, BALUSTRADE, WINDOW AND DOOR TRIMS & SCREENS, SIDING, WOOD DECKING AND HARDWARE.

EXISTING WINDOWS AND DOORS TO REMAIN AND/OR RELOCATE; PROTECT AND RESTORE AS REQUIRED. LABELED IN EXTERIOR ELEVATIONS AS "EXST WNDW" & "EXIST DR"



3 EXTERIOR ELEVATION -BACK
SCALE 1/8"=1'-0"

DIXON Residence
REMODEL/ADDITION
1112 7TH Street, Austin TX.

WoodEye
Construction and Design

1104 W. Koenig Lane
Austin, Texas 78756



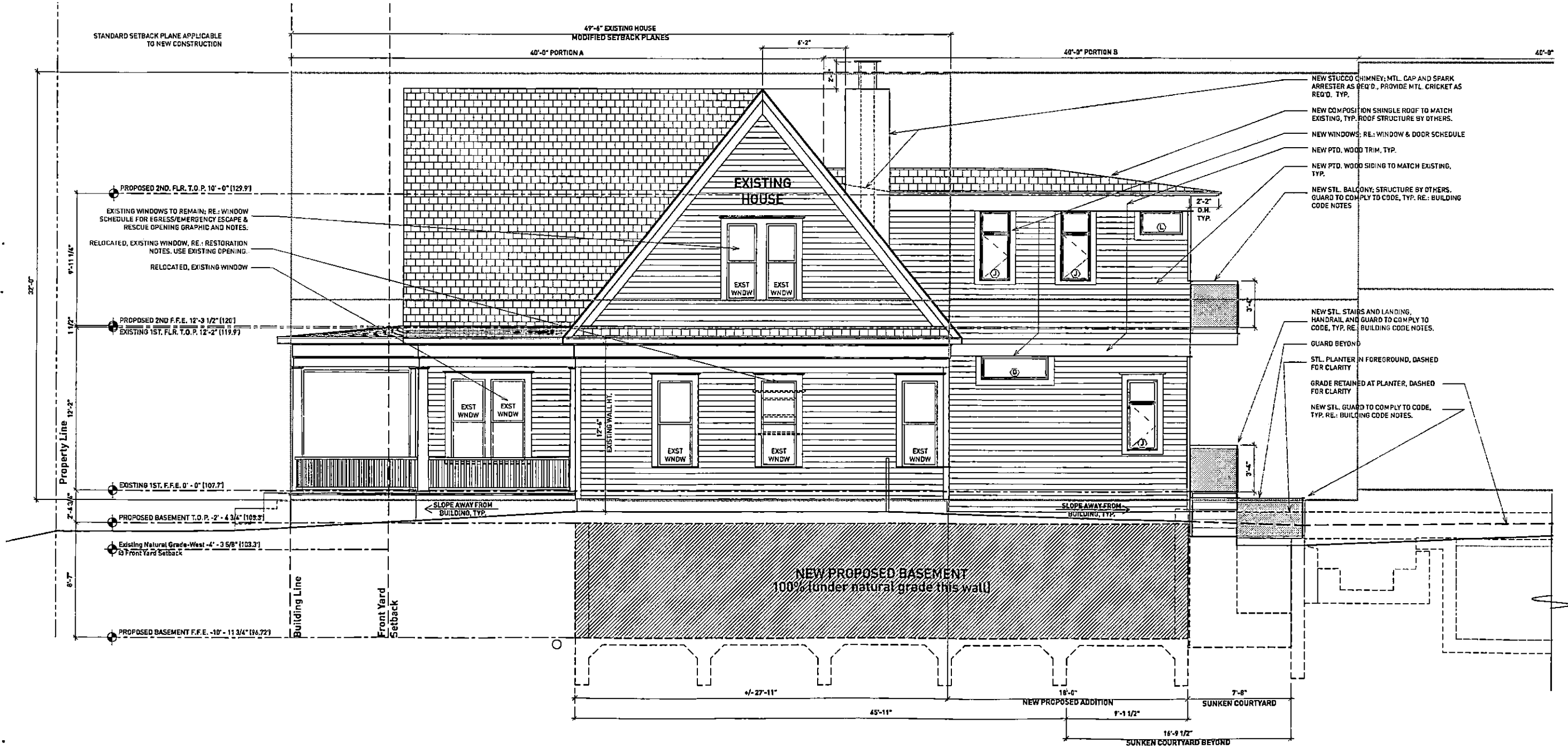
HISTORICAL REVIEW
07.22.2018

A7
EXTERIOR ELEVATIONS

RESTORATION NOTES

PROTECT AND RESTORE AS REQUIRED, MATCH WHERE IRREPARABLE, ALL EXTERIOR EXISTING ORIGINAL ELEMENTS TO REMAIN SUCH, BUT NOT LIMITED TO: CORNICE, COLUMNS, BALUSTRADE, WINDOW AND DOOR TRIMS & SCREENS, SIDING, WOOD DECKING AND HARDWARE.

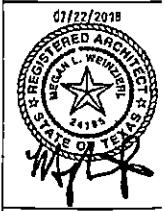
EXISTING WINDOWS AND DOORS TO REMAIN AND/OR RELOCATE; PROTECT AND RESTORE AS REQUIRED. LABELED IN EXTERIOR ELEVATIONS AS "EXST WNDW" & "EXST DR"



4 EXTERIOR ELEVATION -EAST SIDE
SCALE 1/8"=1'-0"

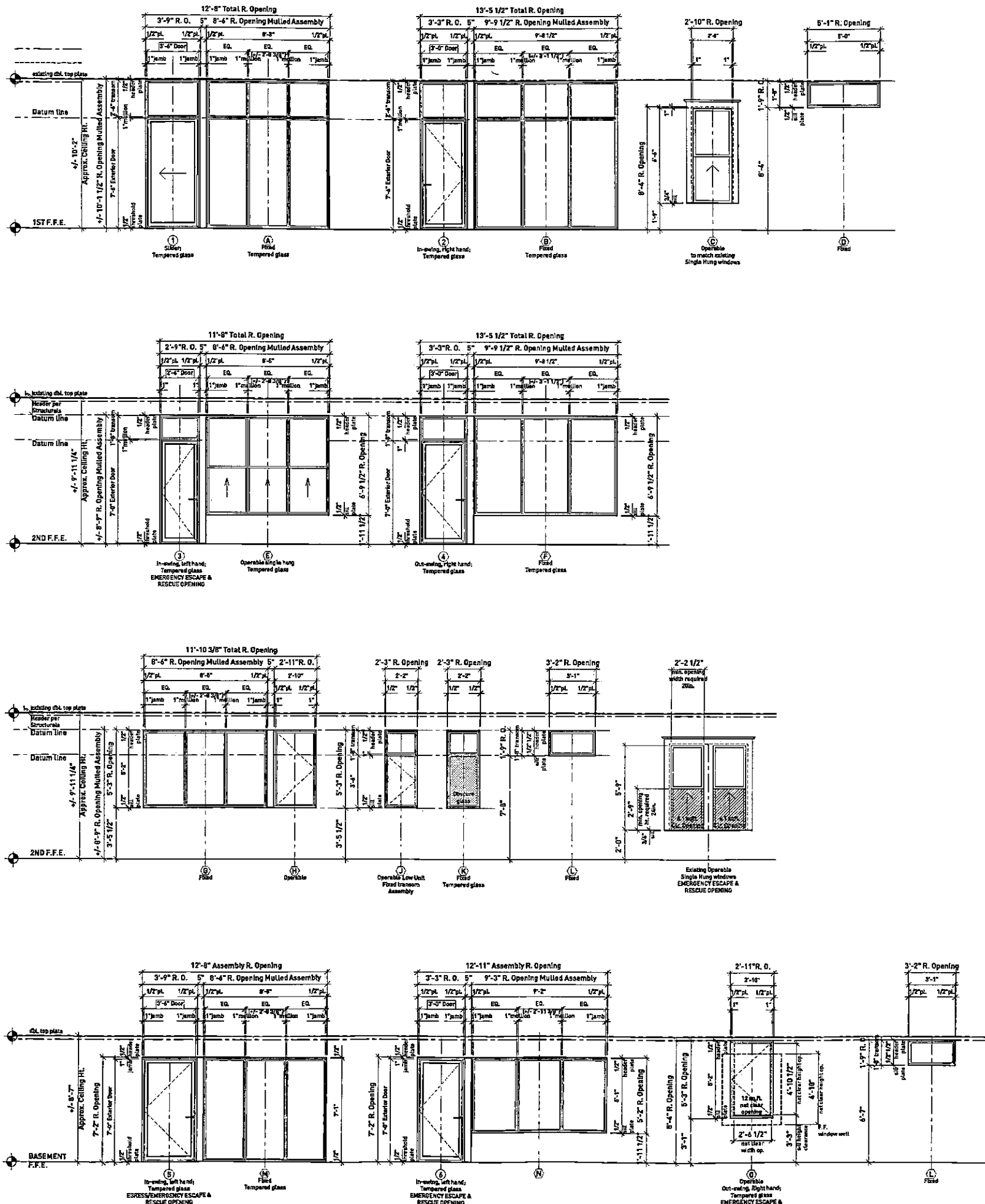
DIXON Residence
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HISTORICAL REVIEW
07.22.2018

A8
EXTERIOR ELEVATIONS



WINDOW & DOOR SCHEDULE- GRAPHIC REPRESENTATION
SCALE 1/8"=1'-0"

WINDOW SCHEDULE CHART									
WINDOW KEY	NOMINAL DIMENSION		OPERATION	SILL TOP	HDR. BOT.	ENERGY INFO		REMARKS	
	WIDTH	HEIGHT				U-FACTOR	SHGC		
A	8'-5" MULLED ASSEMBLY 3-EG. PANES	10'-0" MULLED ASSEMBLY 30" LOWER UNIT 30" TRANSOM UNIT	FIXED	1/2" A.F.F.	10'-1 1/2" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS, TEMPERED GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
B	9'-8 1/2" MULLED ASSEMBLY 3-EG. PANES	10'-0" MULLED ASSEMBLY 19" LOWER UNIT 30" TRANSOM UNIT	FIXED	1/2" A.F.F.	10'-1 1/2" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS, TEMPERED GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
C	2'-8" TO MATCH ADJACENT EXISTING	6'-6" TO MATCH ADJACENT EXISTING	SINGLE HUNG	2'-4" A.F.F.	7'-0" A.F.F.	0.35	0.25	KOLBE WOOD WINDOW; THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 4-1/2" JAMB. SEE ELEVATION FOR DETAILS.	
D	5'-0"	1'-8"	FIXED	8'-4 1/2" A.F.F.	10'-1 1/2" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
E	8'-5" MULLED ASSEMBLY 3-EG. PANES	6'-8 1/2"	SINGLE HUNG	2'-0" A.F.F.	8'-9" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS, TEMPERED GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
F	9'-8 1/2" MULLED ASSEMBLY 3-EG. PANES	6'-8 1/2"	FIXED	2'-0" A.F.F.	8'-9" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS, TEMPERED GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
G	8'-5" MULLED ASSEMBLY 3-EG. PANES	5'-2"	CASEMENT RIGHT HAND	3'-4" A.F.F.	8'-9" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
H	5'-2"	2'-10"	CASEMENT RIGHT HAND	3'-4" A.F.F.	8'-9" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
J	2'-2"	5'-2" MULLED ASSEMBLY 42" LOWER UNIT 20" TRANSOM UNIT	CASEMENT LEFT HAND LOWER UNIT/ FIXED TRANSOM	3'-4" A.F.F.	8'-9" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
K	2'-2"	5'-2" MULLED ASSEMBLY 42" LOWER UNIT 20" TRANSOM UNIT	FIXED	3'-4" A.F.F.	8'-9" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
L	3'-1"	1'-8"	FIXED	VARIES PER ELEV	VARIES PER ELEV	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
M	8'-5" MULLED ASSEMBLY 3-EG. PANES	7'-1"	FIXED	1/2" A.F.F.	7'-2" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
N	9'-2" MULLED ASSEMBLY 3-EG. PANES	5'-1"	FIXED	2'-0" A.F.F.	7'-2" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. SEE ELEVATION FOR DETAILS.	
O	5'-2"	2'-10"	CASEMENT RIGHT HAND	3'-1" A.F.F.	8'-4" A.F.F.	0.35	0.25	RAM WINDOW; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE GLASS. 2-3/8" JAMB. - PER CODE COMPLIANCE IRC 2015 SEC R310 EMERGENCY ESCAPE AND RESCUE OPENINGS. NET CLEAR OPENING: 125QFT, SILL HEIGHT: 39 IN A.F.F.E., CLEAR WIDTH: 30.5 IN., CLEAR HEIGHT: 58.5 IN. SEE ELEVATION FOR DETAILS.	

DOOR SCHEDULE CHART									
DOOR NUMBER	NOMINAL DIMENSION		OPERATION	HEADER BOTTOM	THICK-NESS	ENERGY INFO		REMARKS	
	WIDTH	HEIGHT				U-FACTOR	SHGC		
1	3'-6"	7'-6"	SLIDER LEFT HAND	+/- 10'-1 1/2" A.F.F.	PER MFR.	0.35	0.25	DON YOUNG DOOR WITH 3'-6" W. X 2'-6" HT. MULLED FIXED TRANSOM ABOVE; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. SEE ELEVATION FOR DETAILS.	
2	3'-0"	7'-6"	IN-SWING RIGHT HAND	+/- 10'-1 1/2" A.F.F.	PER MFR.	0.35	0.25	DON YOUNG DOOR WITH 3'-0" W. X 2'-6" HT. MULLED FIXED TRANSOM ABOVE; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. SEE ELEVATION FOR DETAILS.	
3 EMERGENCY ESCAPE & RESCUE OPENING	2'-6"	7'-0"	IN-SWING LEFT HAND	+/- 8'-9" A.F.F.	PER MFR.	0.35	0.25	DON YOUNG DOOR WITH 2'-6" W. X 1'-8" HT. MULLED FIXED TRANSOM ABOVE; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. PER CODE COMPLIANCE IRC 2015 SEC R310.3 EMERGENCY ESCAPE AND RESCUE DOORS. SEE ELEVATION FOR DETAILS.	
4	3'-0"	7'-0"	OUT-SWING RIGHT HAND	+/- 8'-9" A.F.F.	PER MFR.	0.35	0.25	DON YOUNG DOOR WITH 3'-0" W. X 1'-8" HT. MULLED FIXED TRANSOM ABOVE; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. SEE ELEVATION FOR DETAILS.	
5 EGRESS DOOR	3'-0"	7'-0"	IN-SWING LEFT HAND	+/- 7'-1 1/2" A.F.F.	PER MFR.	0.35	0.25	DON YOUNG DOOR; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. SEE ELEVATION FOR DETAILS.	
6 EMERGENCY ESCAPE & RESCUE OPENING	3'-6"	7'-0"	IN-SWING LEFT HAND	+/- 7'-1 1/2" A.F.F.	PER MFR.	0.35	0.25	DON YOUNG DOOR; ANODIZED ALUMINUM THERMALLY BROKEN FRAME. 1" INSULATED, LO E CARDINAL 366, ARGON FILLED, DOUBLE PANE, TEMPERED GLASS. PER CODE COMPLIANCE IRC 2015 SEC R310.3 EMERGENCY ESCAPE AND RESCUE DOORS. SEE ELEVATION FOR DETAILS.	

NOTES:

1. PROVIDE WINDOW WRAP, MOIST STOP AND MYL FLASHING AT ALL FENESTRATION AS REQUIRED PER INDUSTRY STANDARDS.
2. ALL WINDOWS, DOORS AND SKYLIGHTS SHALL BE IN COMPLIANCE WITH CURRENT CITY OF AUSTIN BUILDING CODE LOCAL AMENDMENTS, 2015 IRC AND CURRENT ENERGY CODE REQUIREMENTS. SKYLIGHTS IDENTIFIED PER SITE PLAN SHALL COMPLY WITH REQUIREMENTS IN ACCORDANCE TO TABLES R402.1.4 (1) AND R402.1.4 (2) WITH REQUIRED U-FACTOR AND SHGC.
3. PROVIDE TEMPERED GLAZING AS REQUIRED WHERE LOCATION SHALL BE CONSIDERED HAZARDOUS PER CURRENT CITY OF AUSTIN BUILDING CODE LOCAL AMENDMENTS AND PER 2015 IRC SEC. R308.4 [R308.4.1 through R308.4.7] & R308.6. DESIGNATED UNITS PER CHART AND GRAPHIC REPRESENTATIONS.
4. EMERGENCY ESCAPE AND RESCUE OPENINGS REQUIRED & DESIGNATED SHALL COMPLY WITH CURRENT CITY OF AUSTIN BUILDING CODE LOCAL AMENDMENTS & IRC 2015 SEC R310. DESIGNATED UNITS PER CHART, GRAPHIC REPRESENTATIONS AND EXTERIOR ELEVATIONS. MAINTAIN MINIMUM WINDOW OPENING AREA AND WINDOW SILL HEIGHT REQUIREMENTS AS PER 2015 IRC SEC. R310.2.1 AND 310.2.2
5. EMERGENCY ESCAPE AND RESCUE WINDOW WELL SHALL BE IN COMPLIANCE WITH 2015 IRC SEC. R310.2.3
6. REQUIRED AND DESIGNATED MEANS OF EGRESS UNITS SHALL COMPLY WITH CURRENT CITY OF AUSTIN BUILDING CODE LOCAL AMENDMENTS & 2015 IRC SEC R311 [R311.2 through R311.4] DESIGNATED UNITS PER CHART, GRAPHIC REPRESENTATIONS AND EXTERIOR ELEVATIONS.

TUTTLE Residence
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WoodEye
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Austin, Texas 78756



HISTORICAL REVIEW
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WINDOW AND DOOR
SCHEDULE
WINDOW AND DOOR NOTES